



Northville DDA Economic Development Committee

Tuesday, June 29, 2021 – 8:30 am

The Northville DDA is inviting you to a scheduled Zoom meeting of the Economic Development Committee scheduled for Tuesday, June 29, 2021, 8:30 am. Join Zoom Meeting: <https://us02web.zoom.us/j/82720273780>, Meeting ID: 827 2027 3780, Via Phone: 1-312-626-6799.

Meeting Agenda

1. Public Comment
2. 157 E. Main Street – Representatives from Poole's Tavern (Attachment 2)
3. Updates
 - a. Toria - 115 E. Main Street Opening - July 2021
 - b. The Little Salumi – 137 E. Main Street – August/September
 - c. 154 N. Center Update – Demolition underway
4. Next Meeting - TBD

From: Robb Burroughs, AIA

Phone Number: (734) 929-9000



TRANSMITTAL

To: City of Northville Historic District Commission
c/o Dianne Massa, CMC, City Clerk
dmassa@ci.northville.mi.us

Address: 215 West Main Street

Phone Number: (248) 349-1300

Date: May 27, 2021

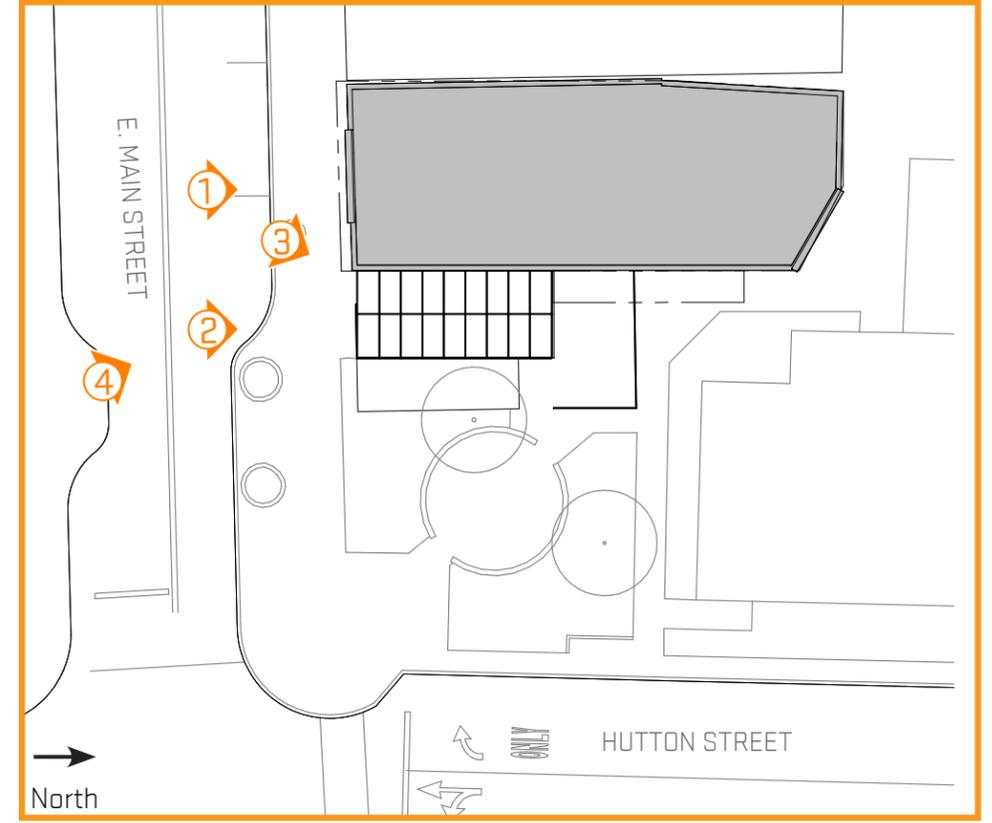
Project/Subject: 157 East Main Street: Exchange Bar and Grill
Continuation of the April 21st HDC, Case #5, Poole's Tavern/Baidas,
Stairwell addition, rooftop dining and pergola, paint.
ERD21 – The Exchange Roof Deck Addition

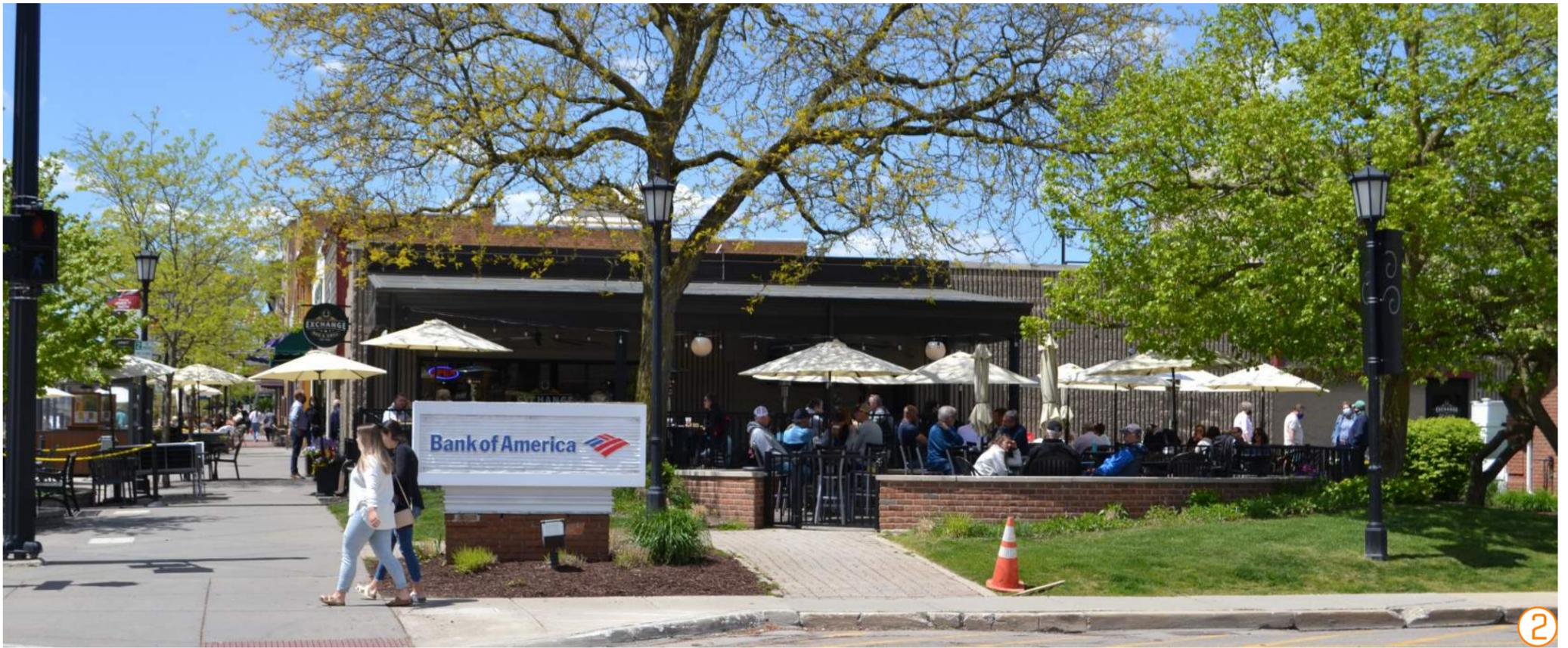
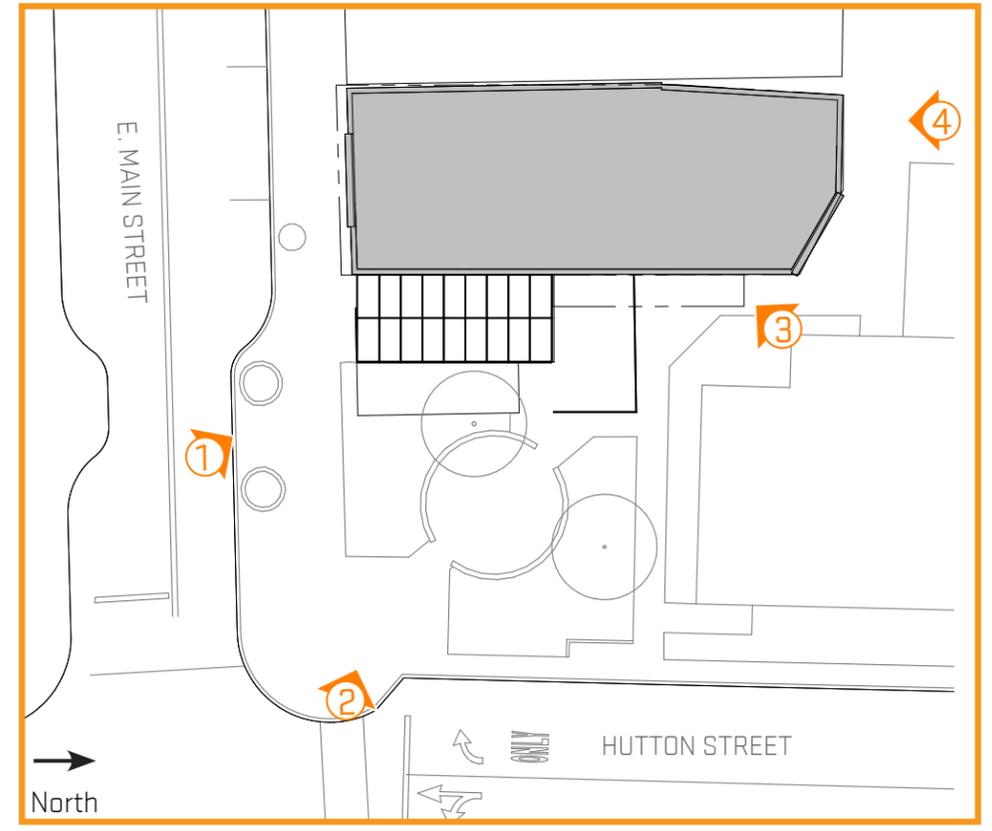
Contents: Existing Photos with Site Key
Existing and Proposed Site Plan
Existing Floor Plans
Proposed Floor Plan
Existing and Proposed Elevations
Railing Details
Site Views and Section
Renderings
Digital Material and Product Selections

Brief Project Description: 157 E. Main Street has recently been re-branded from the popular Poole's Tavern to the Exchange Bar and Grill. The new owner has made recent updates to the interior kitchen and dining areas and is seeking HDC approval for an exterior rooftop patio, a new penthouse addition that consists of access stairs to the rooftop and an enclosed egress stair to grade, new mechanical screen walls around recently relocated HVAC units, and new trim paint at existing sign panels. Q|X Studio is the new agent/architect for the owner/applicant. The enclosed drawings have been revised to address comments received at the April 21 HDC meeting.

EXCHANGE BAR AND GRILL





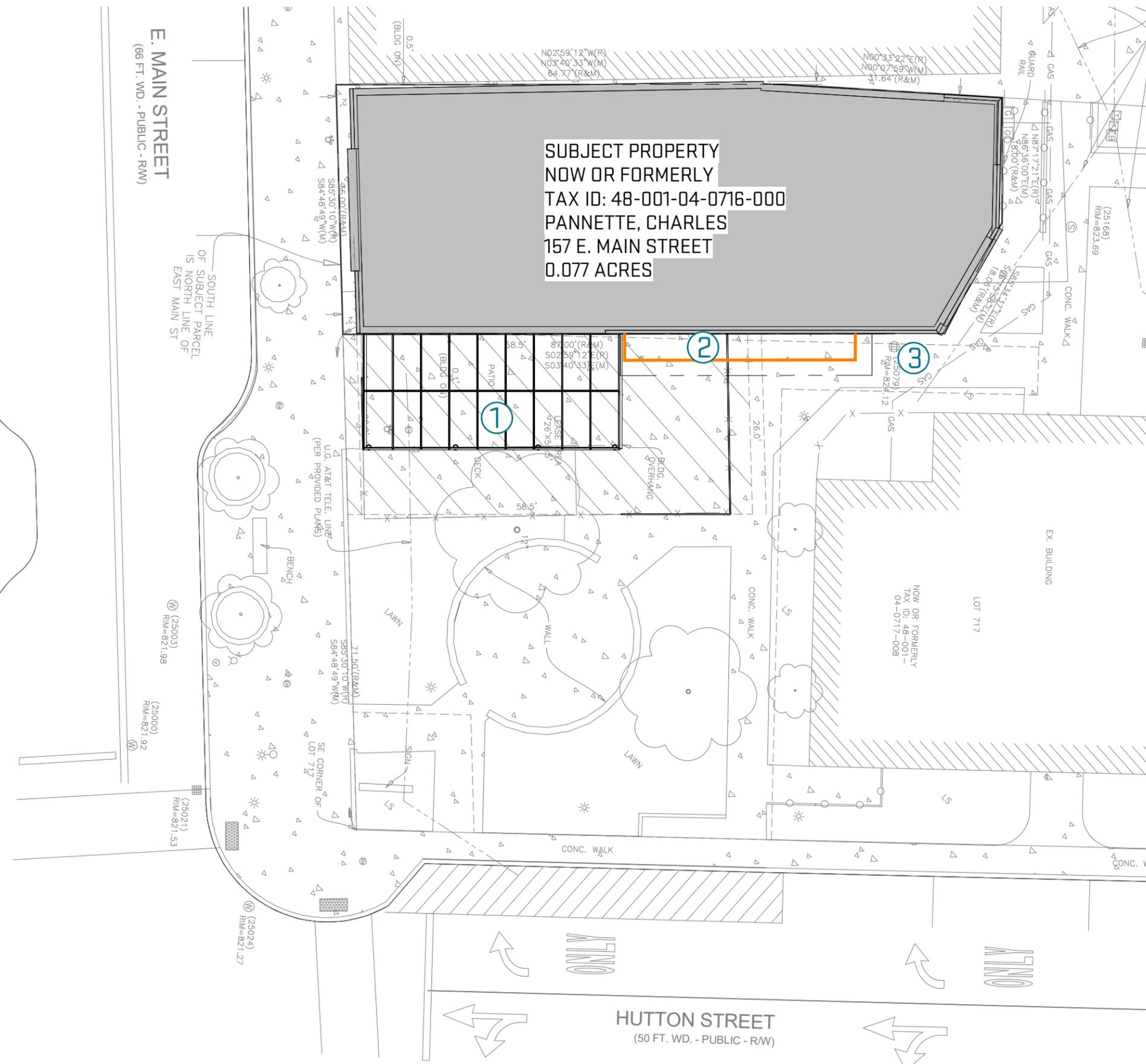


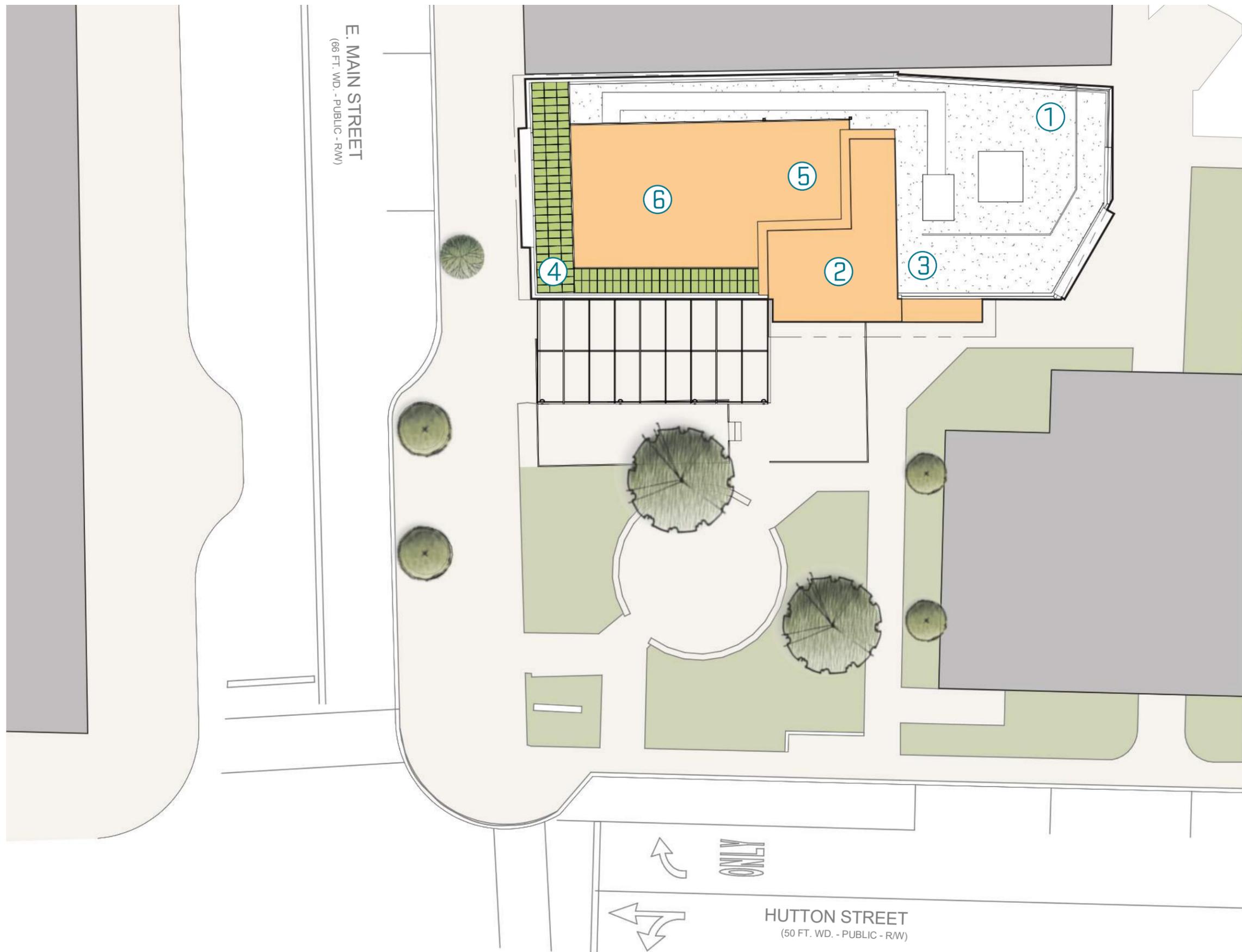
Site Features

-  Property Line
-  Proposed
-  Existing exterior seating
-  Proposed egress stair tower
-  To-Go Order door

EXISTING SITE PLAN

Scale: 1/16" = 1'-0"



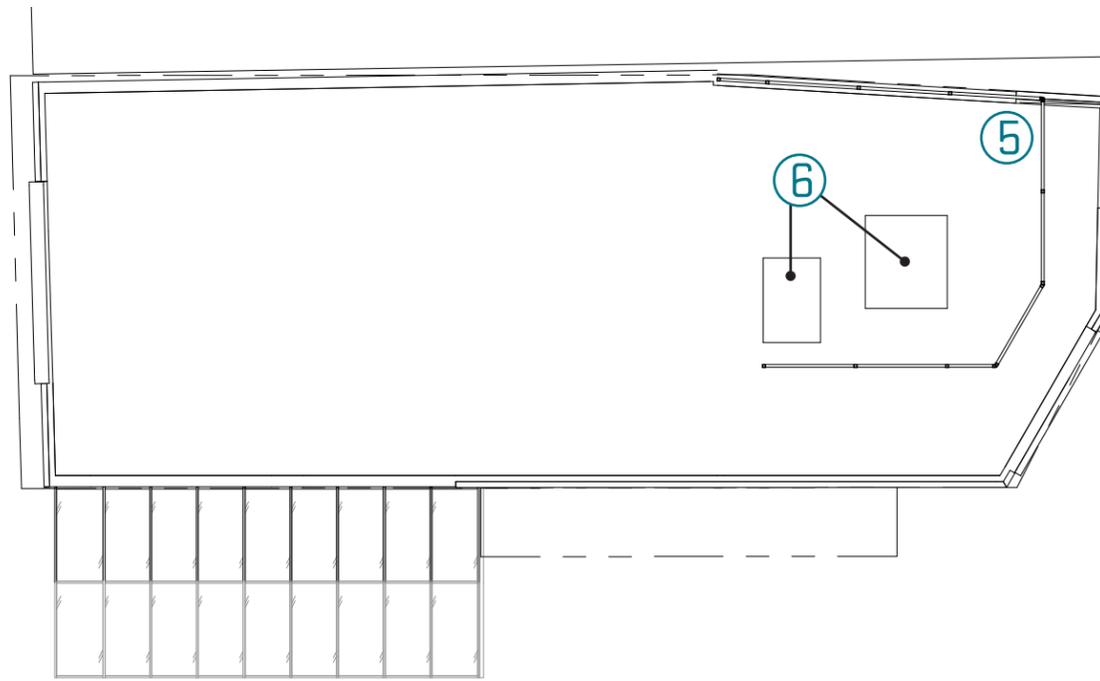


Site Features

- Property Line
- ① New mechanical screen wall
- ② Stair tower containing interior connecting stair and egress stair.
- ③ Roof access
- ④ Green roof planters
- ⑤ Covered bar
- ⑥ Roof deck patio

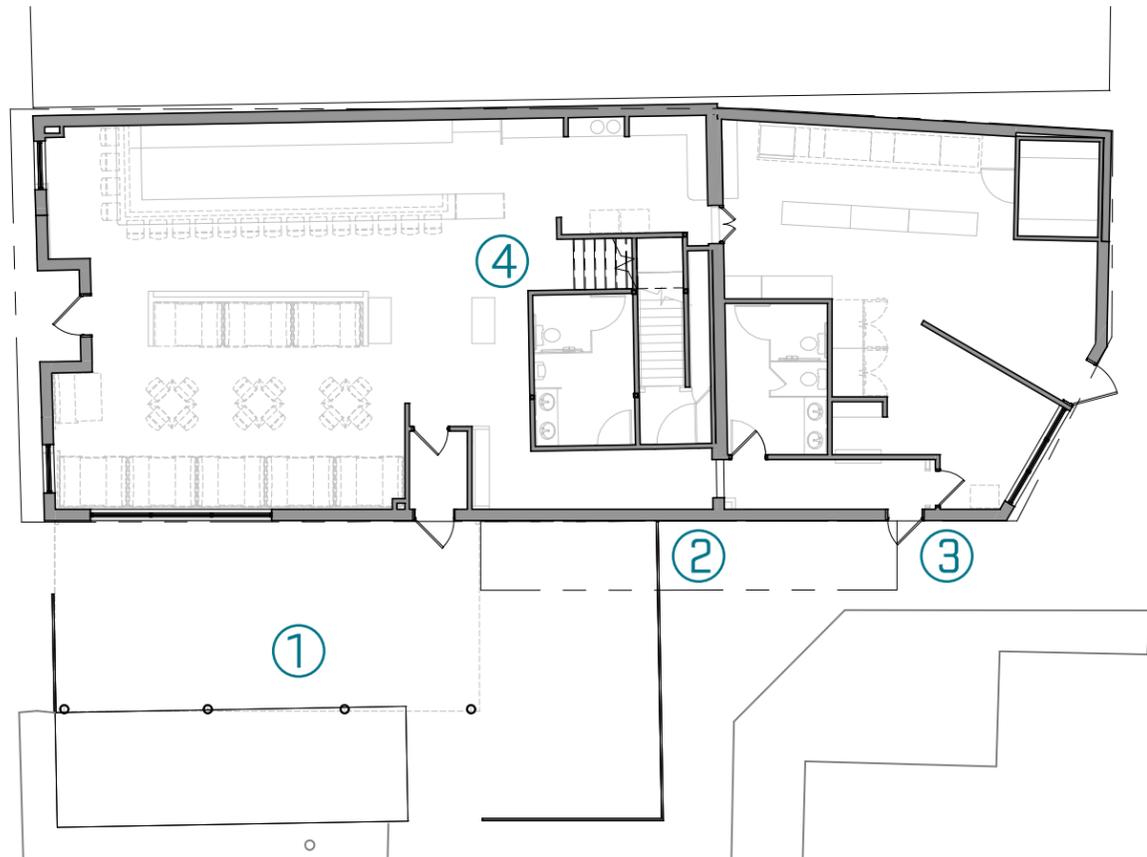
PROPOSED SITE PLAN

Scale: 1/16" = 1'-0"
 8' 16' 32' → North



EXISTING ROOF PLAN

Scale: 1/16" = 1'-0"



EXISTING L1 PLAN

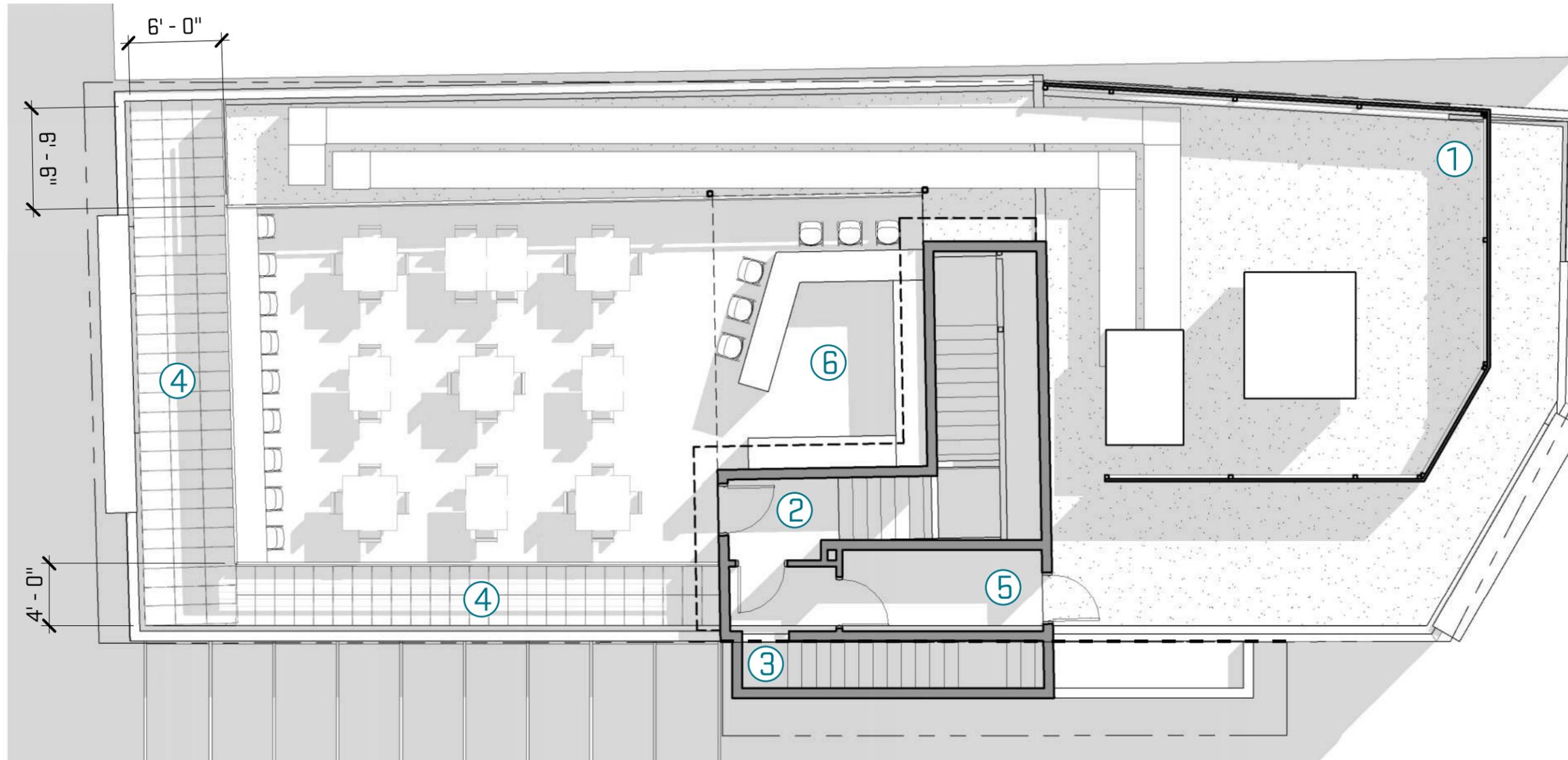
Scale: 1/16" = 1'-0"



Existing Conditions

- Property Line
- ① Existing exterior seating
- ② Proposed egress stair tower
- ③ To-Go Order door
- ④ Interior stair extension
- ⑤ Mechanical screen wall structure
- ⑥ Phase 1 relocated equipment

Proposed Roof Deck



- Property Line
- ① New mechanical screen wall
- ② Interior stair extension
- ③ New egress stair
- ④ Green roof planters
- ⑤ Roof access
- ⑥ Covered bar area

Patio Floor Area: 960 sf

Total Occupants

45 Patrons
 4 Wait Staff
49 MAX OCCUPANTS

PROPOSED ROOF PLAN

Scale: 1/8" = 1'-0"



New - High Roof
126' - 0"

New - Cornice
116' - 1/2"

New - Roof Deck
115' - 2"

Existing - Cornice
114' - 8 1/2"

Existing - Level 1
100' - 0"

PROPOSED SOUTH ELEVATION



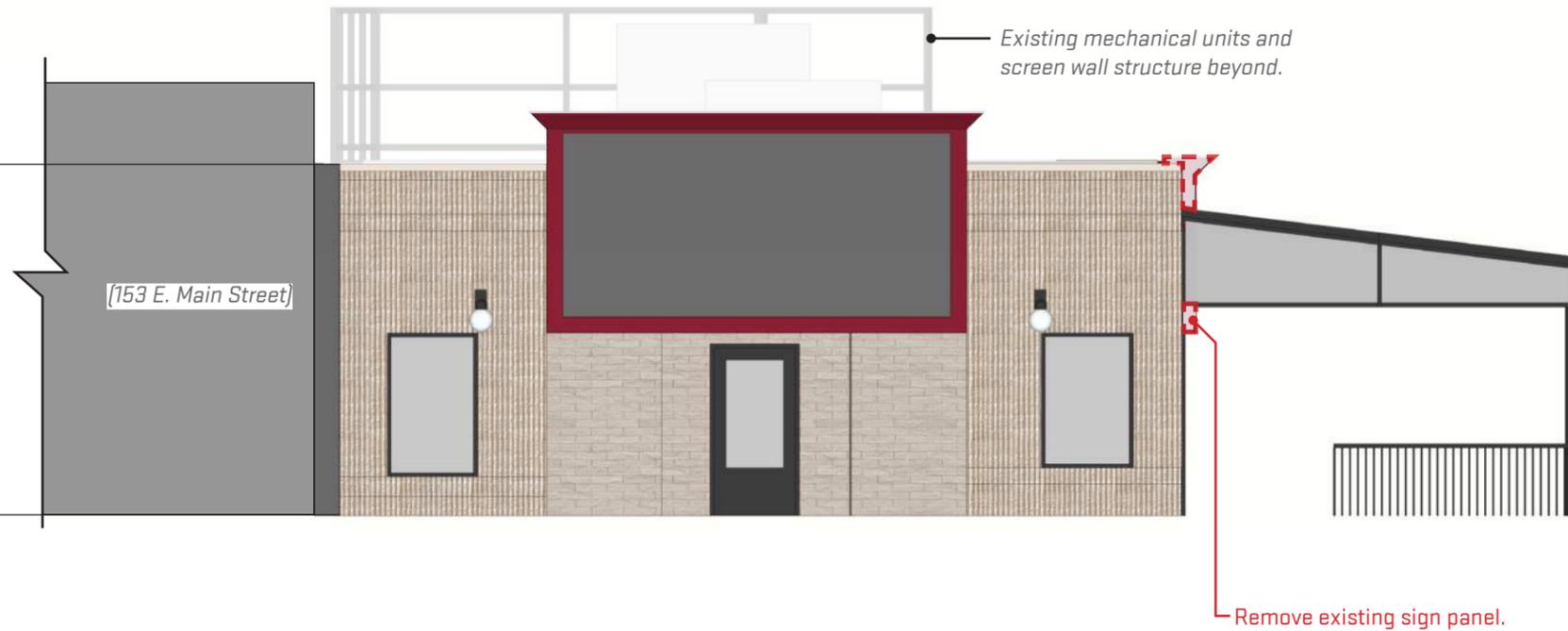
Notes

- ① Existing fluted block
- ② Existing splitface block
- ③ Concealed Fastener metal wall panel system, W-12 by Kingspan
- ④ 4"x16" Burnished concrete masonry unit. Dark accent color
- ⑤ 4"x16" Splitface concrete masonry unit. Light accent color
- ⑥ 12"x24" Burnished concrete masonry unit
- ⑦ Front glazed aluminum storefront system with 1" insulated glazing unit and insulated metal infill panel
- ⑧ Pre-finished metal coping
- ⑨ 4" Aluminum tongue and grooving siding with concealed fasteners on concrete masonry unit back-up wall
- ⑩ Thermally modified wood siding fastened to stainless steel rail posts
- ⑪ Existing wood trim, painted
- ⑫ ACM metal panel on cold formed framing with prefinished coping
- ⑬ Fabric tensile canopy over bar area
- ⑭ Perforated metal panel with powder coat finish

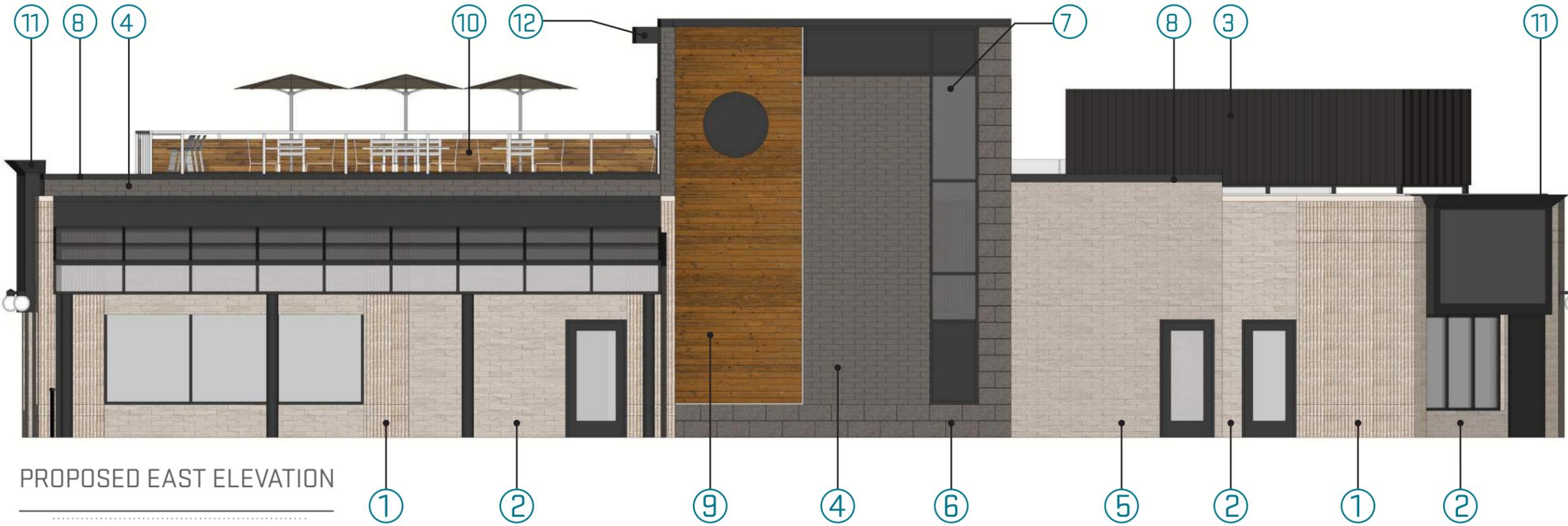
Existing - Cornice
114' - 8 1/2"

Existing - Level 1
100' - 0"

EXISTING SOUTH ELEVATION



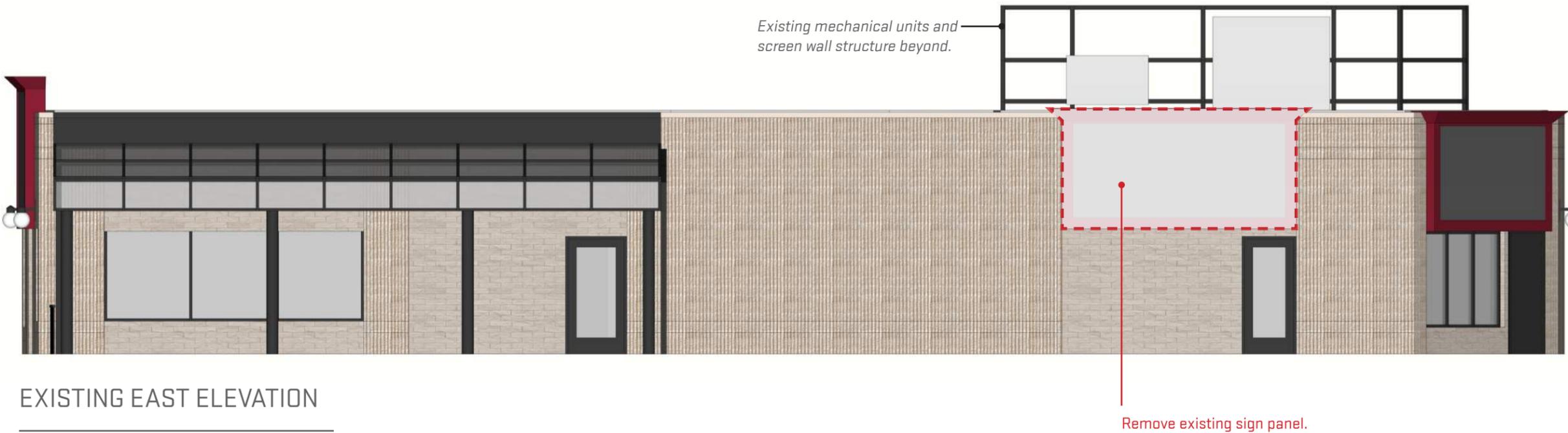
Remove existing sign panel.



PROPOSED EAST ELEVATION

Notes

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EXISTING EAST ELEVATION

Remove existing sign panel.

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New - High Roof
126' - 0"

New - Cornice
116' - 1/2"

New - Roof Deck
115' - 2"

Existing - Cornice
114' - 8 1/2"

Existing - Level 1
100' - 0"

PROPOSED NORTH ELEVATION



Existing mechanical units and
screen wall structure beyond.

Existing - Cornice
114' - 8 1/2"

Existing - Level 1
100' - 0"

EXISTING NORTH ELEVATION



Remove existing sign panel.

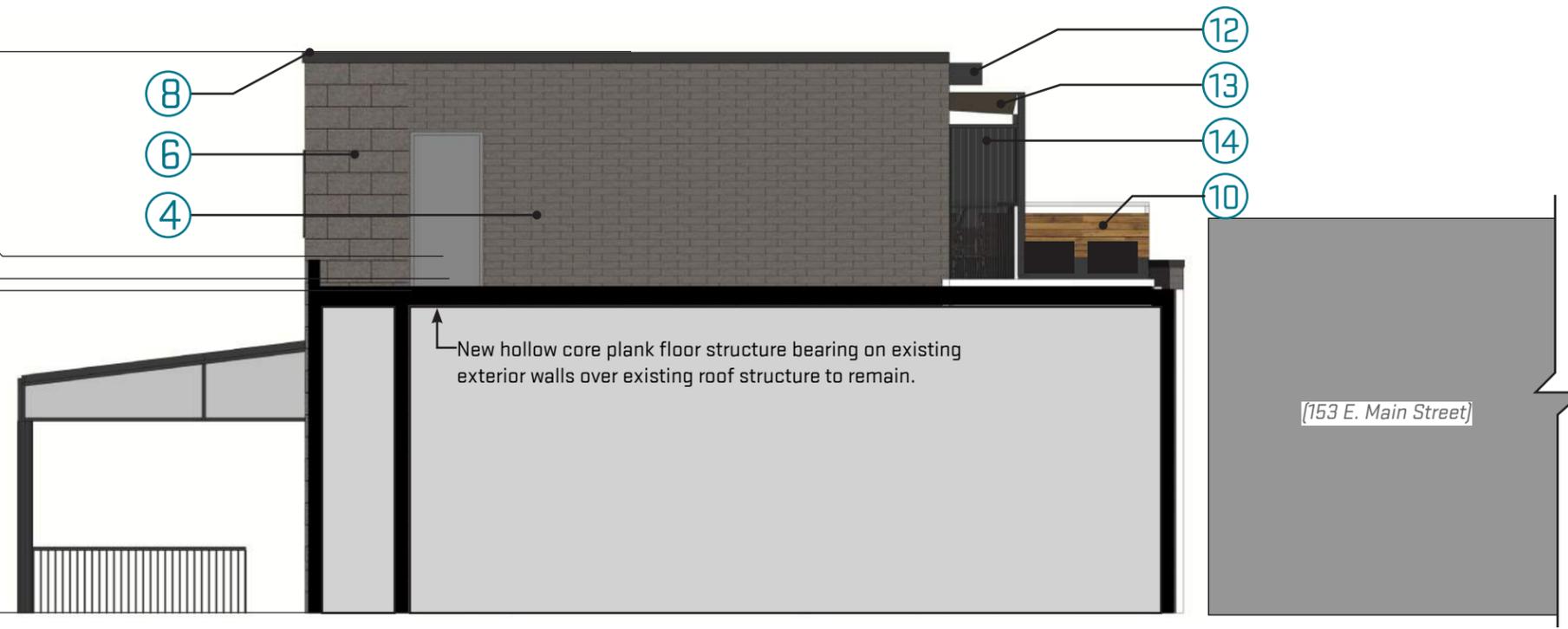
New - High Roof
126' - 0"

New - Cornice
116' - 1/2"

New - Roof Deck
115' - 2"

Existing - Cornice
114' - 8 1/2"

Existing - Level 1
100' - 0"



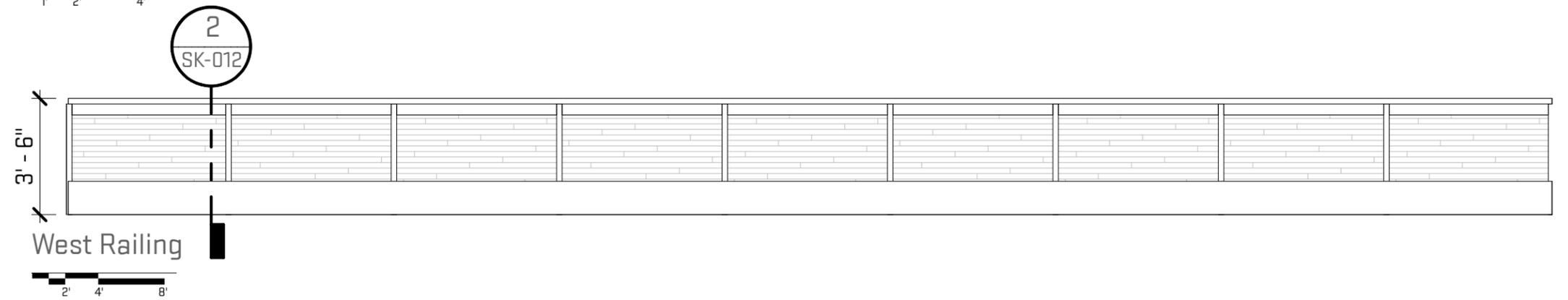
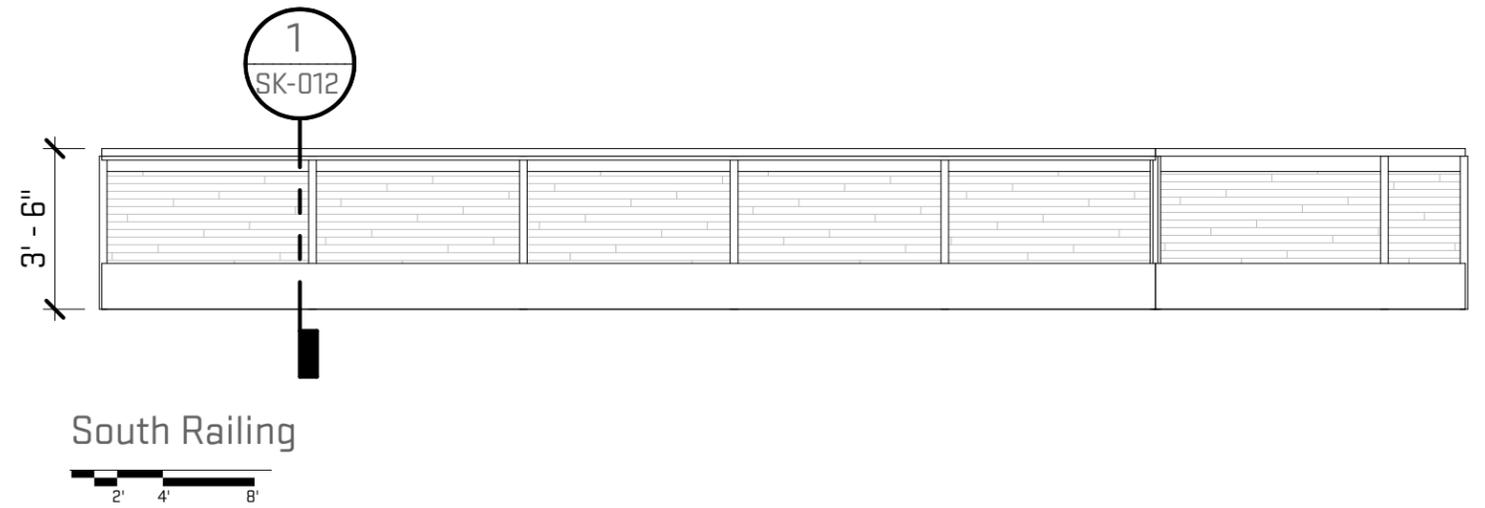
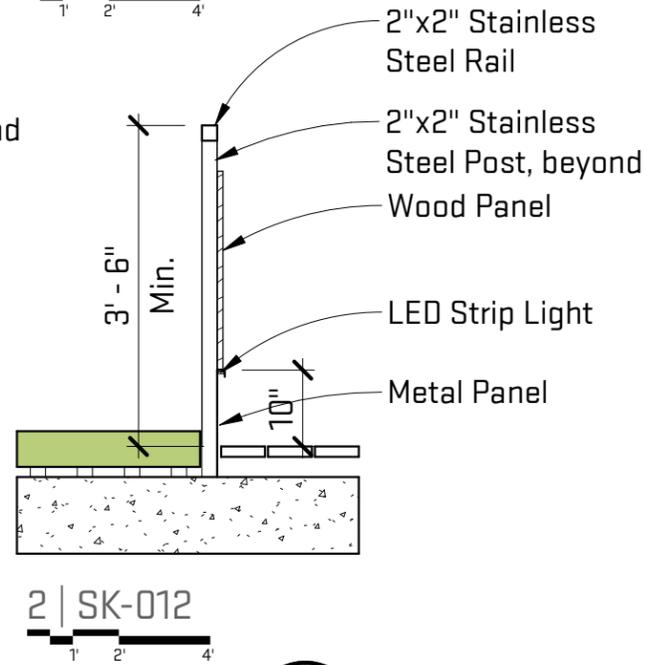
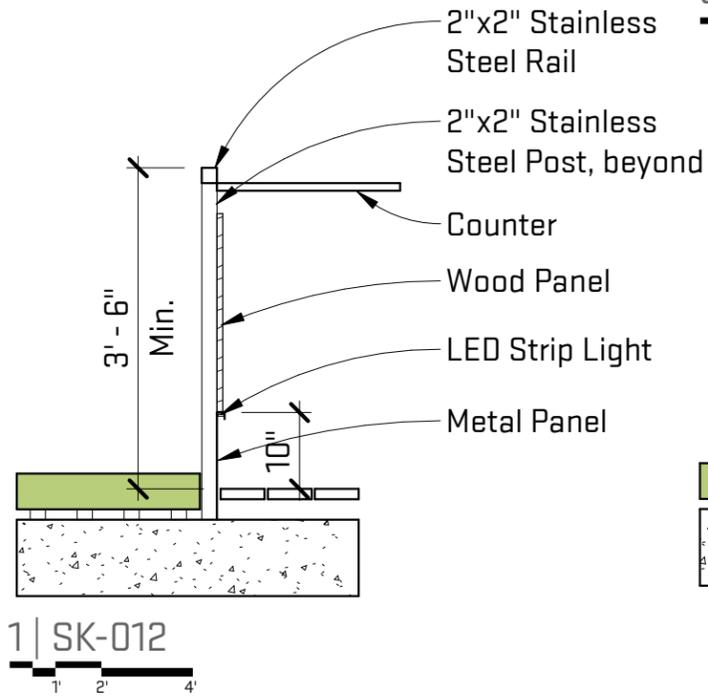
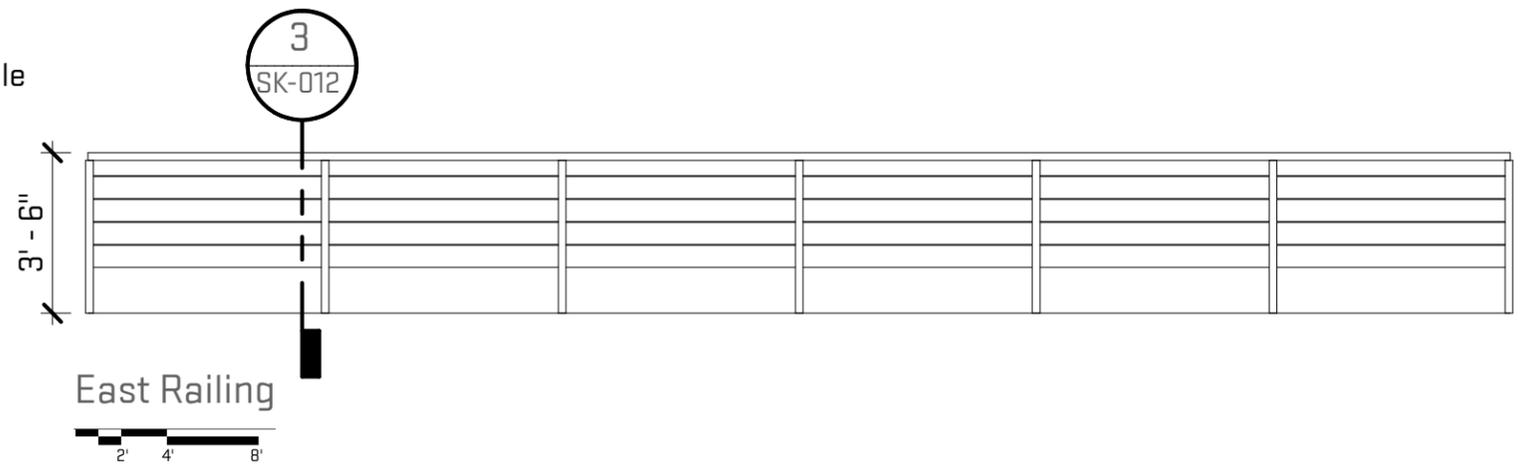
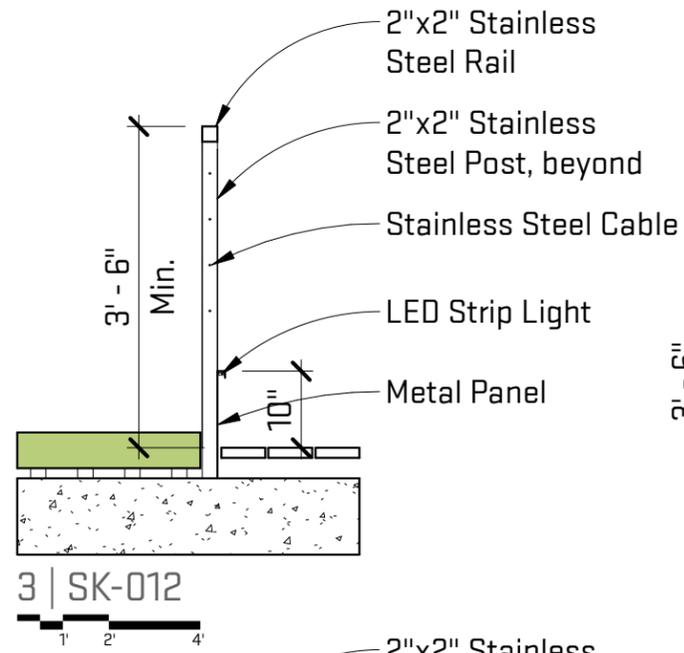
PARTIAL NORTH ELEVATION



PARTIAL SOUTH ELEVATION

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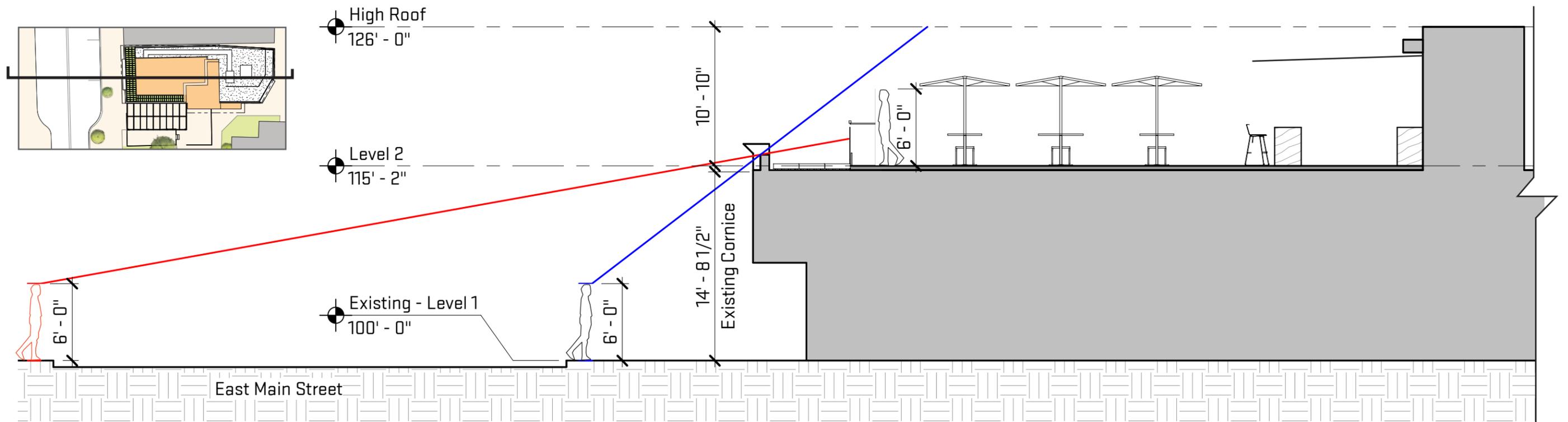
View North from Across East Main St.



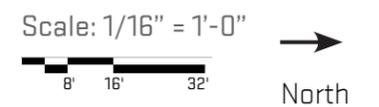
View East from Below



View West from Corner of Hutton St. & East Main St.



SITE VIEW SECTION





View South from Entry Door



View South from Bar

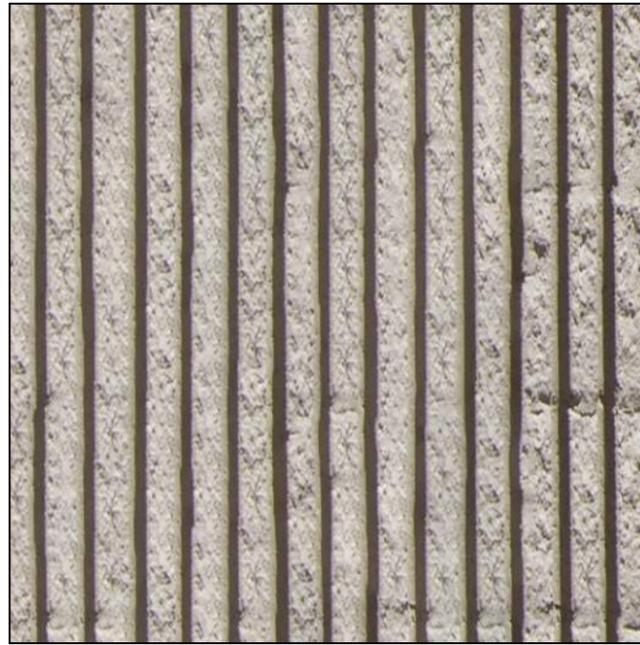








① Aswan



Existing Fluted Block



① Anastasia

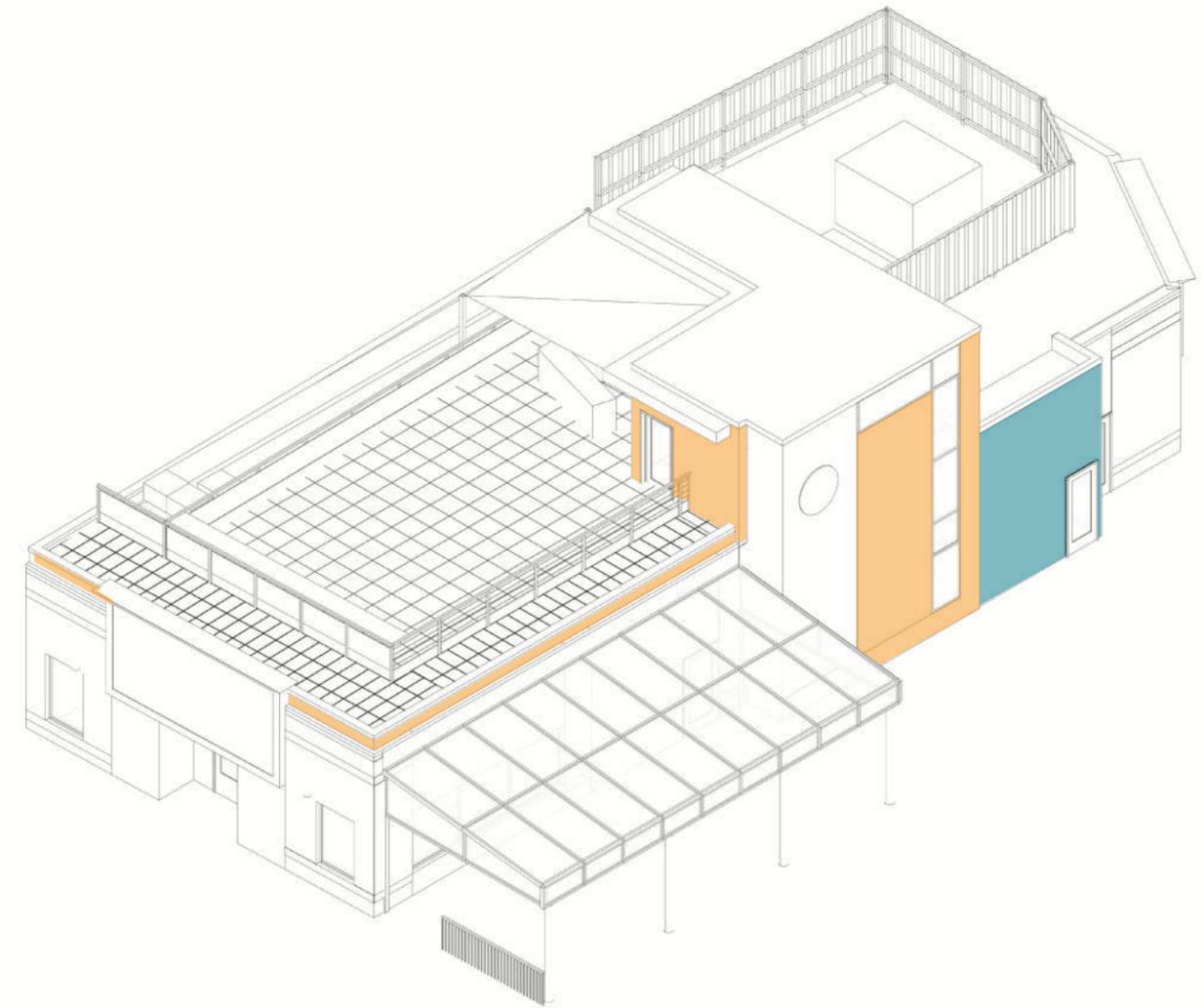


Existing Splitface Block

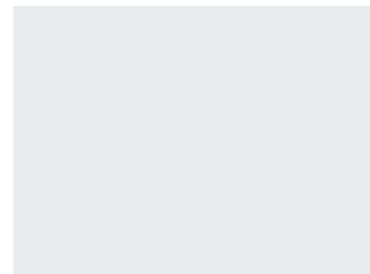
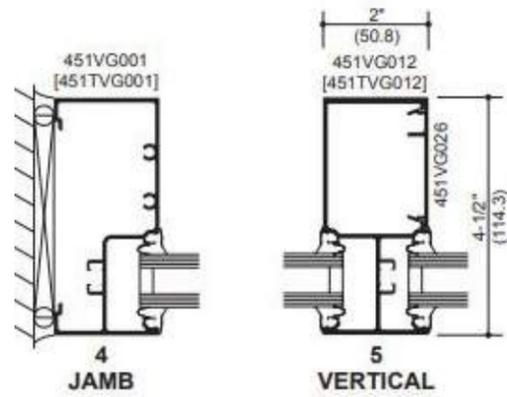
Notes

① Dark Block

① Light Block



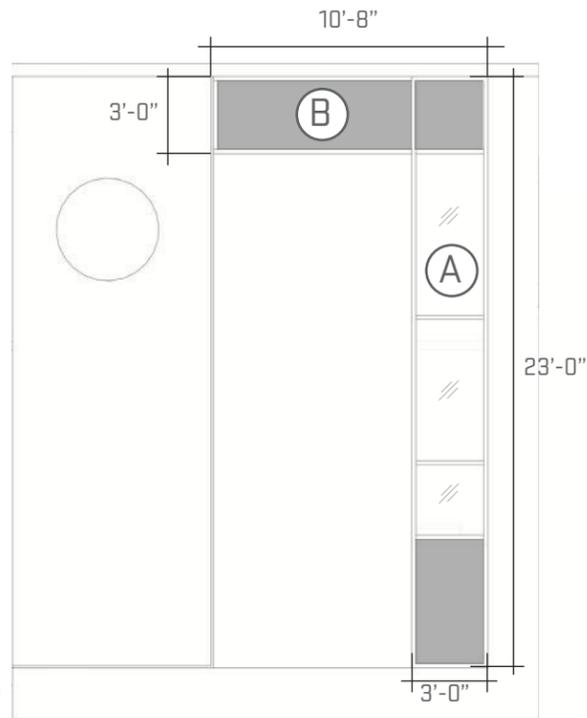
Burnished Block Color Considerations



(A) Vision Panel: Solargray



(B) Solid Panel: Dark Bronze



Notes

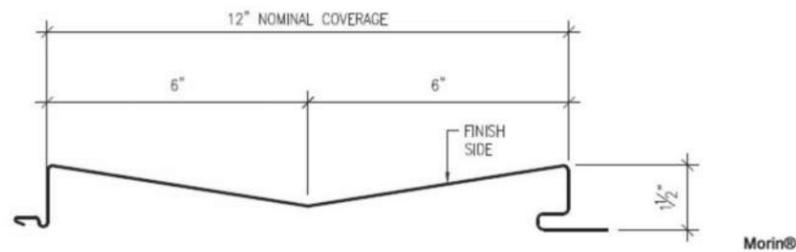
- ① Window System
- ① Mechanical Screen Wall

Kawneer | Trifab VersaGlaze 451/451T Framing System ①

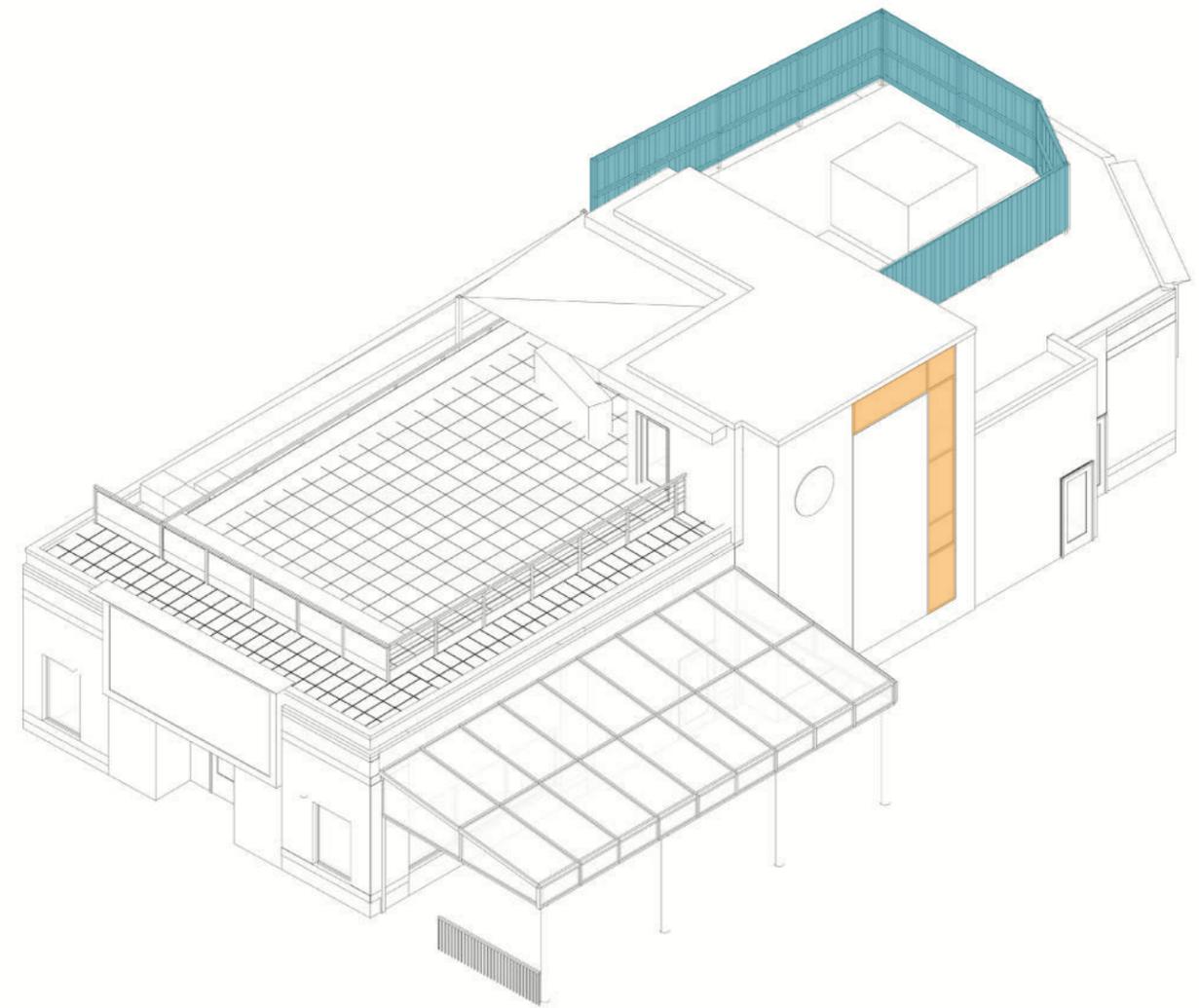


Concealed Fastener W-12

Dark Bronze
SR:0.27 E:0.85 SRI:26
RGB: 55 51 50

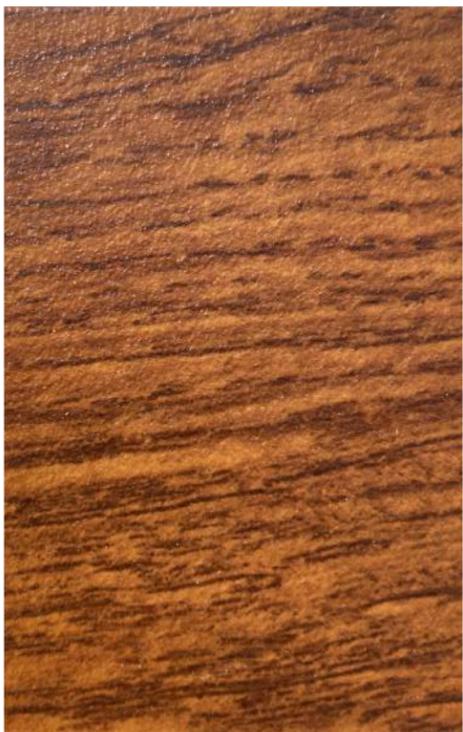


Morin | Concealed Fastener W-12 | Color: Bristol Black ①





Railing Panel | Arbor Wood Co. | Color: White Ash 190 ①

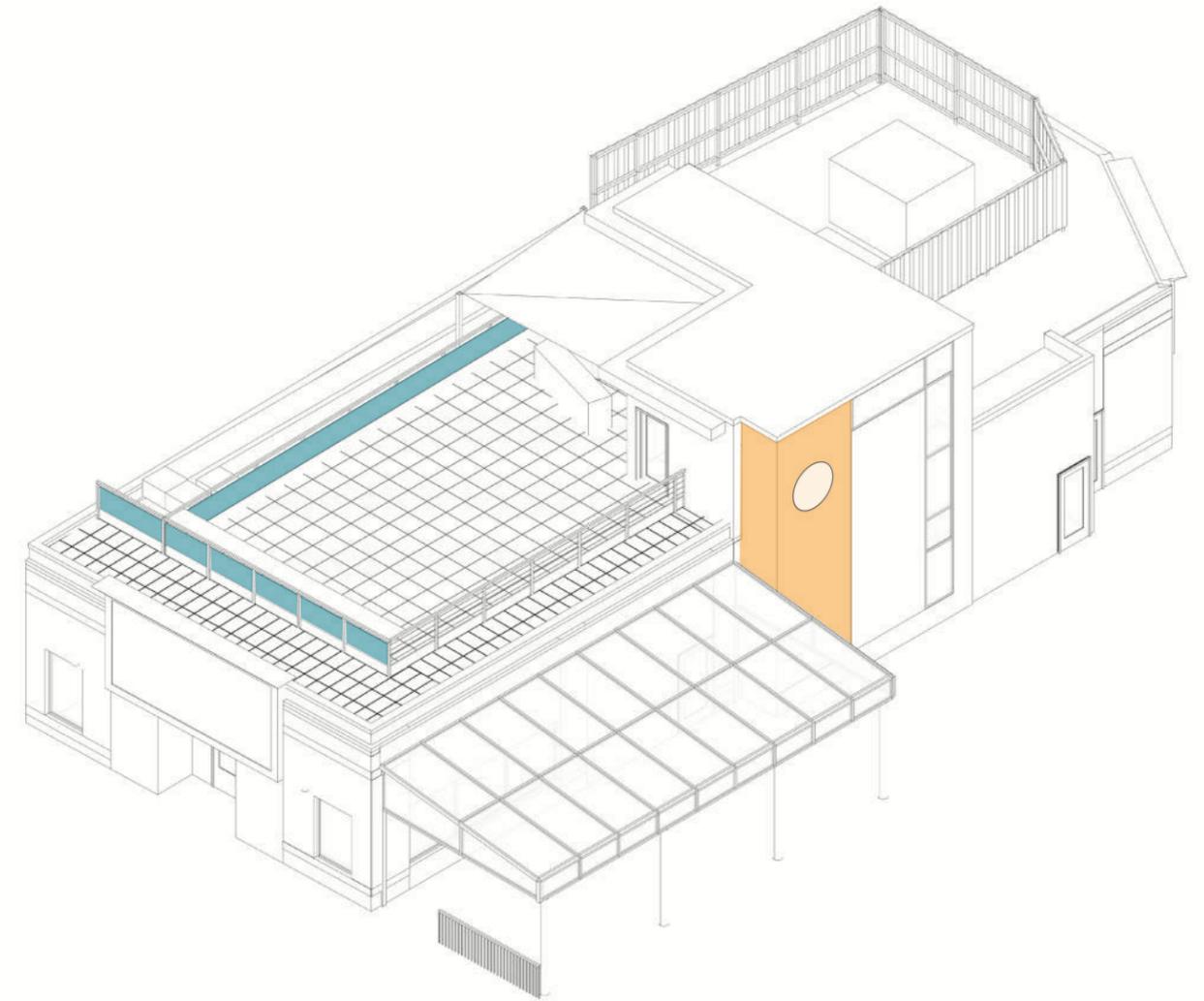


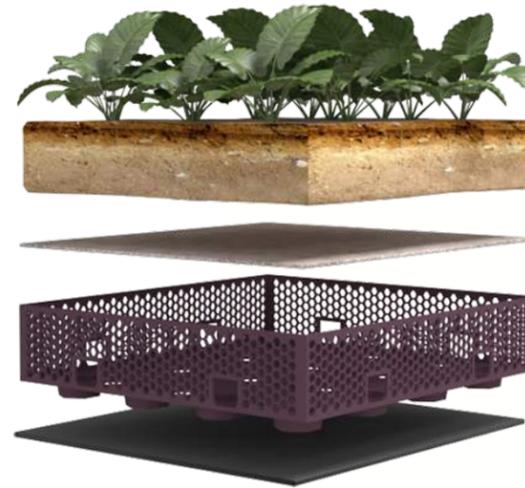
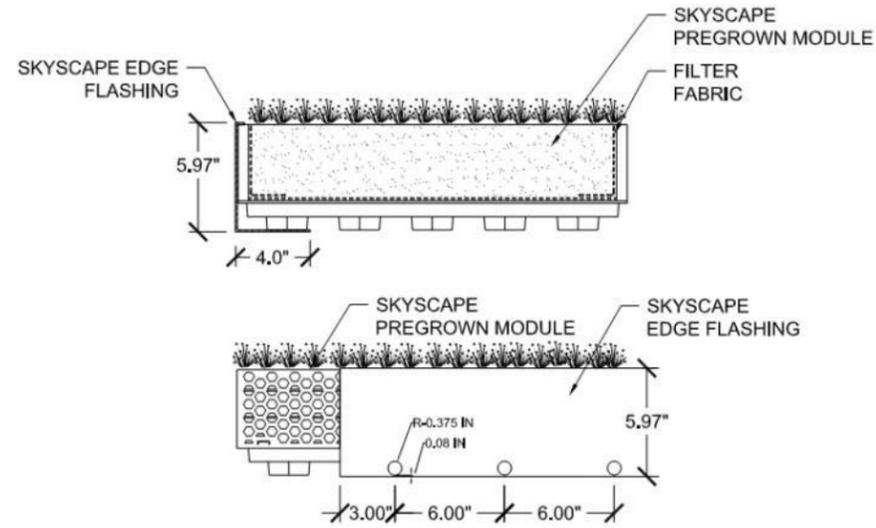
Siding Panels | Longboard | Color: Dark Antique Oak ①

Notes

① Siding Panel

① Railing Panel





Notes

- ① Umbrellas
- ① Canopy
- ① Green Roof Planters

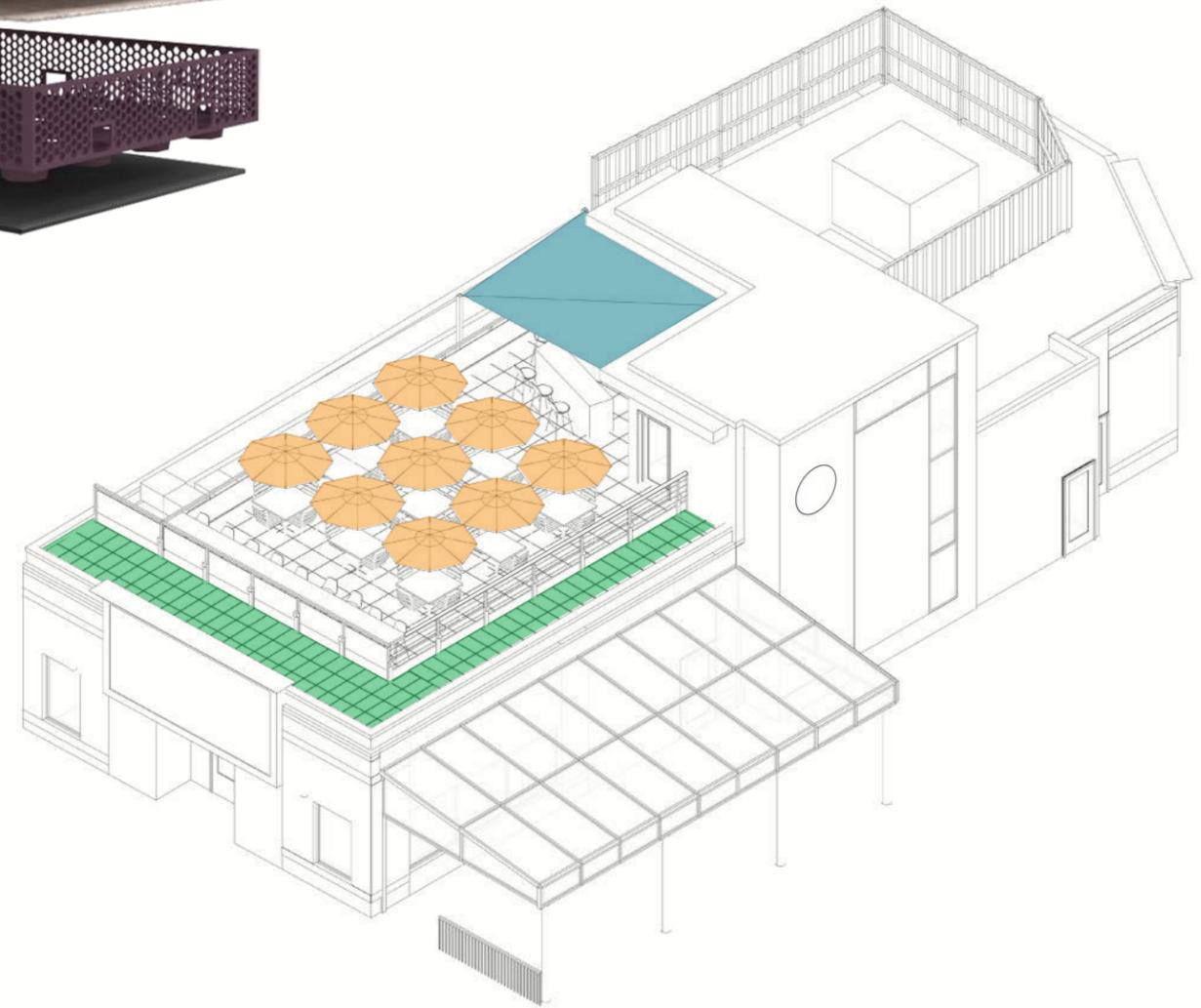
Green Roof Planters | Firestone | Skyscape Pregrown Module



TUUCI



Taupe
4648-0000

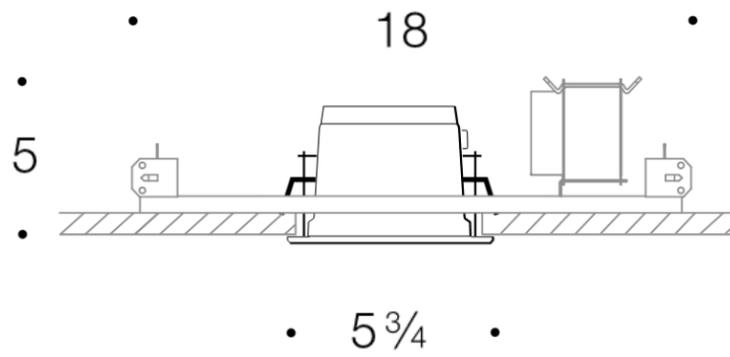


Umbrellas | TUUCI | Color: Taupe

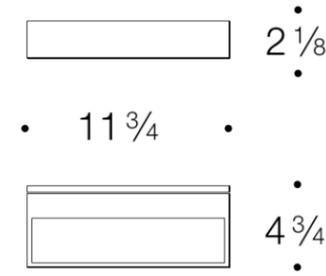
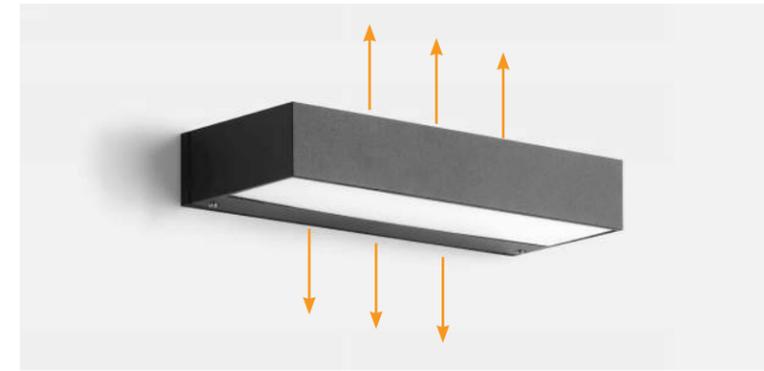


Canopy | Color: Taupe

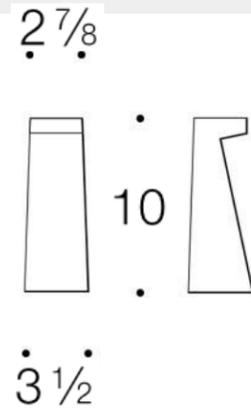
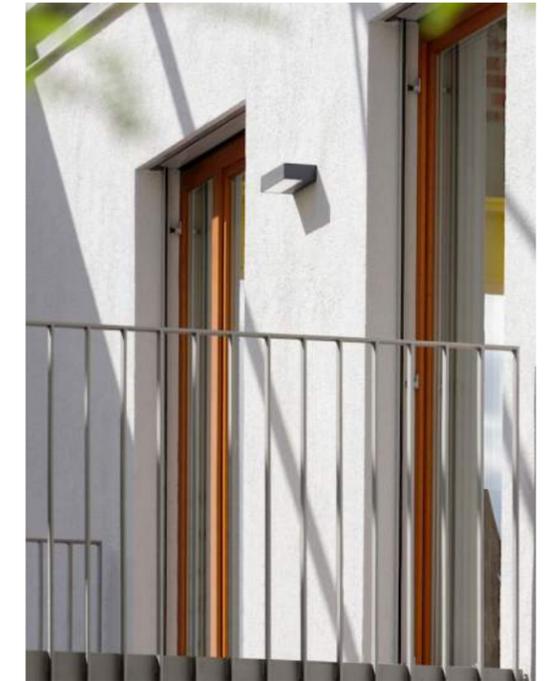




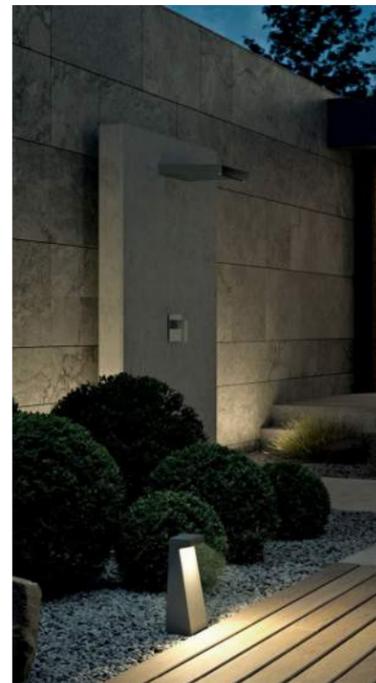
Bega | Exterior Downlight | 24 817 ①



Bega | Wall Luminaire | 33 341 ②



Bega | Garden Bollard | 77 277 ③



BEGA Unidure® Graphite
BEGA Tricoat® Graphite

BEGA

